

GENERAL SITE NOTES:

THE REQUIREMENTS AND INFORMATION SET OUT BELOW ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE AND DO NOT ENCOMPASS ALL PROJECT REQUIREMENTS DESCRIBED BY THE PROJECT PLANS AND SPECIFICATIONS AND/OR APPLICABLE LAWS, REGULATIONS AND/OR BUILDING CODES.

- CONSTRUCTION OF ALL PROJECT SITE IMPROVEMENTS SUBJECT TO ADA ACCESS COMPLIANCE, INCLUDING ACCESSIBLE PATH OF TRAVEL, CURB RETURNS, PARKING STALL(S) AND UNLOADING AREAS; BARRIER FREE AMENITIES AND/OR OTHER APPLICABLE SITE IMPROVEMENTS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT, CALIFORNIA TITLE 24, AND THE CALIFORNIA BUILDING CODE, CURRENT EDITION(S).
- CONTRACTOR SHALL FIELD VERIFY ALL GRADES AND SLOPES PRIOR TO THE PLACEMENT OF CONCRETE AND/OR PAVEMENT FOR CONFORMANCE WITH ADA ACCESS COMPLIANCE REQUIREMENTS. EXAMPLES OF MINIMUM AND MAXIMUM LIMITS RELATED TO ADA ACCESS COMPLIANCE INCLUDE, BUT ARE NOT LIMITED TO:
 - ACCESSIBLE PATH OF TRAVEL CROSS-SLOPE SHALL NOT EXCEED 2%
 - ACCESSIBLE PATH OF TRAVEL LONGITUDINAL SLOPES SHALL NOT EXCEED 5%
 - RAMP LONGITUDINAL SLOPES SHALL NOT EXCEED 8.33%
 - WALKS SHALL NOT HAVE LESS THAN 48 INCHES IN UNOBSTRUCTED WIDTH
 - ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - LANDINGS AT THE TOP AND BOTTOM OF ACCESSIBLE RAMPS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - GUTTERS AND ROAD SURFACES DIRECTLY ADJACENT TO AND WITHIN 2 FEET OF A CURB RAMP SHALL HAVE A COUNTER SLOPE NOT TO EXCEED 5%
- CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IDENTIFIED BY THE PROFESSIONAL ENGINEERING SEAL AND SIGNATURE ON THESE PLANS, OF ANY SITE CONDITION(S) AND/OR DESIGN INFORMATION THAT PREVENTS THE CONTRACTOR FROM COMPLYING WITH THE LAWS, REGULATIONS AND/OR BUILDING CODES GOVERNING ADA ACCESS COMPLIANCE.
- DRAINAGE SHALL NOT BE ALLOWED ONTO ADJACENT PROPERTY.
- ALL FILL MATERIAL USED SHALL BE PLACED IN COMPLIANCE WITH THE PROJECT SPECIFICATIONS. A SOILS COMPACTION REPORT SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AS REQUIRED BY THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS REQUIRED BY THE PROJECT SPECIFICATIONS, AND BY GOVERNING PUBLIC AGENCIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO START OF ANY WORK.
- CONTRACTOR SHALL NOTIFY THE SCHOOL DISTRICT TO TURN OFF IRRIGATION A MINIMUM OF 2 DAYS PRIOR TO STARTING WORK. CONTRACTOR SHALL COORDINATE WITH THE SCHOOL DISTRICT THROUGHOUT THE COURSE OF THE PROJECT FOR WATERING AND NON-WATERING TIMES. CONTRACTOR SHALL NOTIFY THE DISTRICT AS SOON AS WORK IS COMPLETED TO THE POINT WHERE IRRIGATION SYSTEMS MAY BE TURNED BACK ON.
- ENSURE THAT ALL EXISTING STRIPING IS NOT VISIBLE AFTER APPLYING SEAL COAT AND PRIOR TO RESTRIPING AND REPAINTING. OTHERWISE, ADDITIONAL SEAL COAT APPLICATION MAY BE REQUIRED.
- PRIOR TO ACCEPTANCE OF NEW PAVING AND APPLICATION OF SEAL COAT AND/OR STRIPING, THE CONTRACTOR SHALL COMPLETE A WATER TEST OF THE NEW PAVEMENT WITH THE ENGINEER OF RECORD PRESENT TO VERIFY THAT NO LOW SPOTS OR "BIRD BATHS" ARE PRESENT, PER THE PROJECT SPECIFICATIONS.
- LAYOUT ALL PAVEMENT MARKINGS TO MATCH EXISTING UNLESS NOTED OTHERWISE ON PLANS.
- PAINT ALL CURBS AND WHEELSTOPS TO MATCH EXISTING WITHIN PROJECT LIMITS, UNLESS SHOWN OTHERWISE ON THE PLANS
- ALL CONCRETE SHALL HAVE WEAKENED PLANE JOINTS AT 10 FEET OR LESS ON CENTER AND ONE HALF INCH PREMOULDED EXPANSION JOINTS AT 30 FEET OR LESS MINIMUM. MATCH EXISTING SCORE PATTERN DIMENSIONS ON ALL CONCRETE WALKS AND PAVEMENT.
- NO CONCRETE MAY BE POURED UNTIL ALL FORMS AND REINFORCEMENTS HAVE BEEN REVIEWED AND APPROVED BY THE PROJECT INSPECTOR.
- REPLACE ALL DAMAGED TURF AND IRRIGATION FACILITIES RESULTING FROM THE WORK REQUIRED.
- ADJUST ALL UTILITY LIDS TO FINISHED GRADE WITHIN CONSTRUCTION AREA PER DETAIL [B/JEX-1] UNLESS NOTED OTHERWISE. REMOVE AND REPLACE ALL BROKEN OR DAMAGED LIDS AND BOXES. ALL LIDS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED.
- ANY EXISTING UTILITIES AND/OR IMPROVEMENTS WHICH ARE TO REMAIN, THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER AND AGENCY HAVING AUTHORITY, AT THE CONTRACTOR'S SOLE EXPENSE.
- ANY EXISTING UTILITIES AND/OR IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER AND AGENCY HAVING AUTHORITY, AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR TO MATCH EXISTING PAVEMENT GRADE AT ALL NEW PAVEMENT LOCATIONS UNLESS NOTED OTHERWISE ON THE PLANS.
- ASPHALT CONCRETE REMOVAL AND REPLACEMENT LIMITS SHOWN ARE APPROXIMATE AND ARE BASED ON PAVEMENT CONDITIONS OBSERVED DURING A PRE-DESIGN SITE REVIEW. ADJUST LOCATIONS AND LIMITS AS REQUIRED BY ACTUAL FIELD CONDITIONS OR AS DIRECTED BY THE ENGINEER.
- INSTALL DOWELED CONNECTION AT JOINT OF NEW CONCRETE TO EXISTING CONCRETE PER DETAIL [C/JEX-1]
- TREAT ALL JOINTS BETWEEN EXISTING ASPHALT AND CONCRETE SURFACES PER DETAIL [K/JEX-1]

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE CONSTRUCTION DRAWINGS, THE CONTRACT SPECIFICATIONS AND, WHERE APPLICABLE, THE CITY STANDARDS AND THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE SCHOOL DISTRICT'S USE OF THE FACILITIES AND OTHER CONTRACTORS WHO MAY BE DOING CONSTRUCTION WITHIN THE PROJECT SITE.
- THE CONTRACTOR SHALL CONTACT DISTRICT OFFICIALS FOR DETERMINATION OF DEPTH AND LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION IN THE PROJECT SITE.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY AUTHORITIES OR UTILITY COMPANIES HAVING POSSIBLE INTEREST IN THE WORK OF THE CONTRACTOR'S INTENTION TO EXCAVATE PROXIMATE TO EXISTING FACILITIES AND THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES IN THE WORK AREA, NOTIFY U.S.A. AT 1(800) 642-2444, TWO (2) DAYS PRIOR TO EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2016 CALIFORNIA BUILDING CODE (CBC).
- CHANGE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY DSA, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24, CCR.
- A "DSA CERTIFIED" CLASS 3 PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY DSA SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION SHALL BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK (SECTION 4-317(C), PART 1, TITLE 24, CCR).
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND EMERGENCY ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

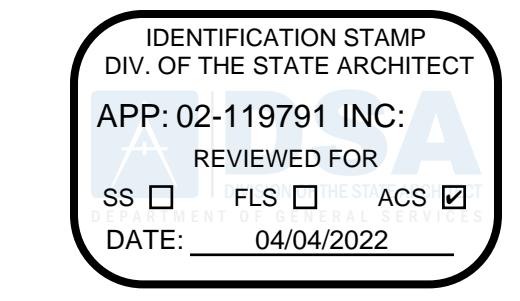
GENERAL DEMOLITION NOTES:

- THE "LIMIT OF DEMOLITION" SHOWN IS APPROXIMATE AND IS GENERALLY CONSIDERED TO BE THE MINIMUM REMOVAL REQUIREMENTS. CONTRACTOR MUST COORDINATE AS NOTED IN THE LEGEND.
- CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLISHED MATERIALS OFF SITE.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITY IMPROVEMENTS NOT SPECIFICALLY DESIGNATED FOR REMOVAL.
- THE ON-SITE UNDERGROUND UTILITIES SHOWN ON THIS SHEET ARE AT APPROXIMATE LOCATIONS. THE EXTENT, LOCATIONS AND SIZES ARE UNKNOWN. THE CONTRACTOR SHALL POT HOLE TO LOCATE AND VERIFY THE UNDERGROUND UTILITY LINES PRIOR TO REMOVAL.
- CONTRACTOR TO PROTECT AND PRESERVE IN PLACE ANY FOUND SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE RESET BY A CALIFORNIA LICENSED SURVEYOR AND THE APPROPRIATE PAPERWORK FILED WITH THE CITY OR COUNTY, AT CONTRACTOR'S EXPENSE.
- ALL HAZARDOUS MATERIALS ENCOUNTERED DURING SITE DEMOLITION SHALL BE REMEDIATED AND DISPOSED OF PER STATE AND EPA REQUIREMENTS.
- REMOVE EXISTING IMPROVEMENTS AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS SHOWN ON THESE PLANS.
 - FOR CONCRETE REMOVAL, REMOVE TO THE NEXT NEAREST TOOLED JOINT OR EXPANSION JOINT OF IMPROVEMENTS DESIGNATED TO REMAIN.
 - FOR ASPHALTIC PAVEMENT REMOVAL, SAWCUT TO A STRAIGHT, CLEAN EDGE AT LOCATIONS INDICATED ON THE PLANS.

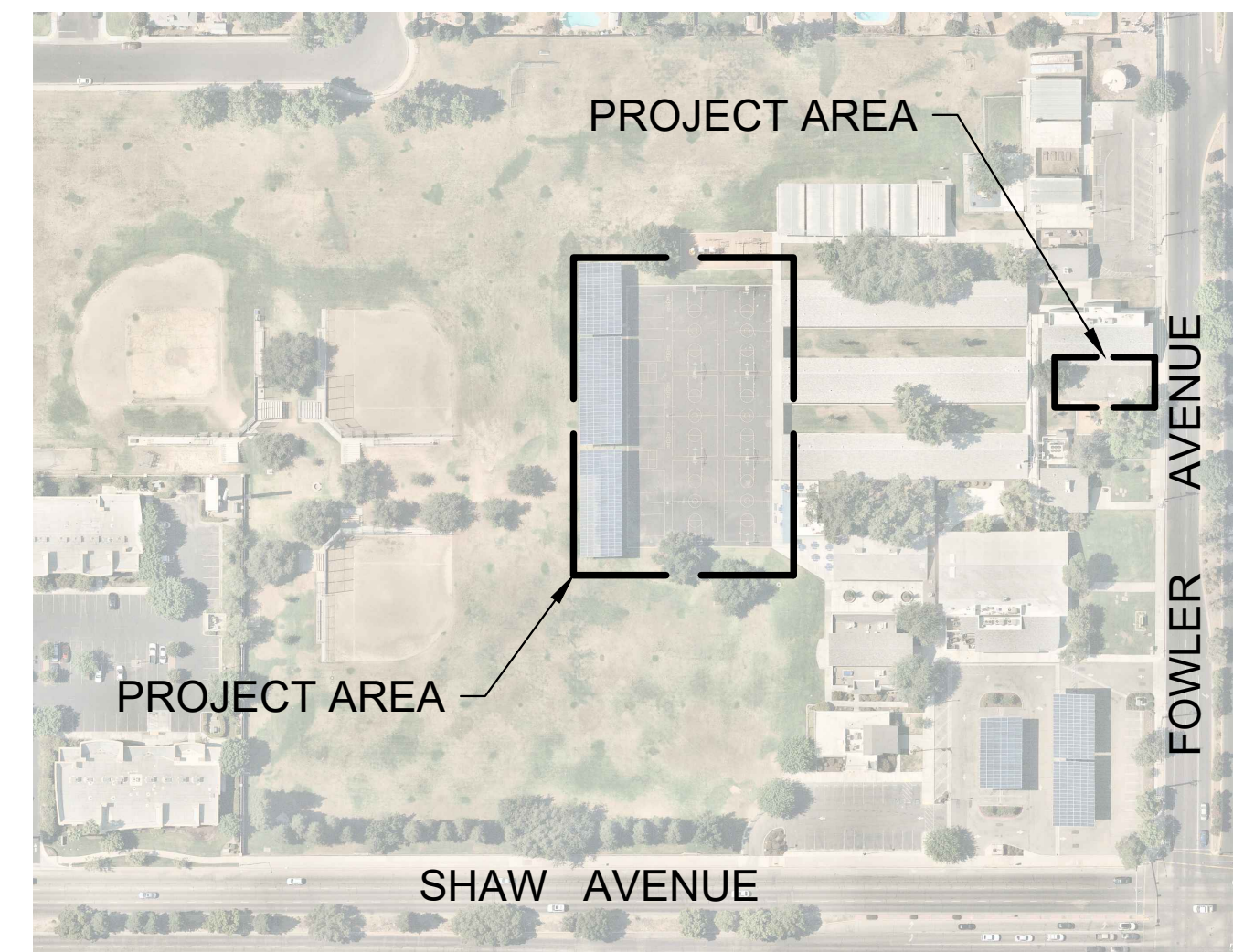
CLOVIS UNIFIED SCHOOL DISTRICT

EIMEAR O'BRIEN, ED. D., DISTRICT SUPERINTENDENT

PLANS FOR THE CONSTRUCTION OF 2022 PLAYCOURT REHABILITATION IMPROVEMENTS AT JEFFERSON ELEMENTARY SCHOOL



FOR DSA USE ONLY
APP # 02-119791



SITE MAP

NOT TO SCALE

SITE ADDRESS

1880 FOWLER AVENUE
CLOVIS, CA 93611

PROJECT CONTACTS:

OWNER: CLOVIS UNIFIED SCHOOL DISTRICT
1450 HERNDON AVE
CLOVIS, CA 93611
PHONE: (559) 327-9000

CIVIL ENGINEER: BLAIR, CHURCH & FLYNN
CONSULTING ENGINEERS
451 CLOVIS AVE. SUITE 200
CLOVIS, CA 93612
PHONE: (559) 326-1400

SCOPE OF WORK:

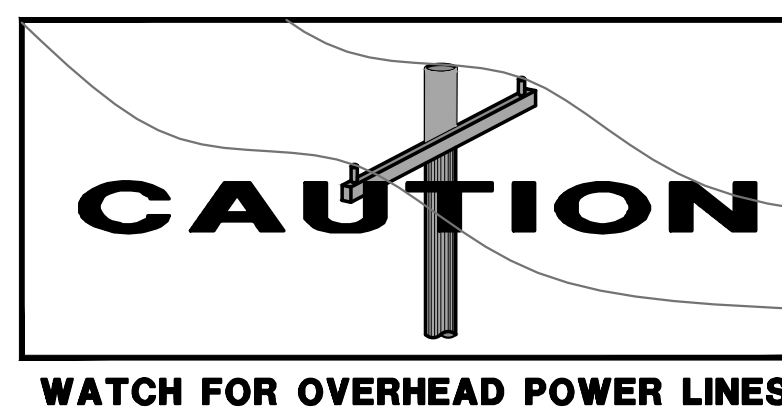
- ASPHALT PAVEMENT REMOVAL AND REPLACEMENT, AND STRIPING THE EXISTING ELEMENTARY PLAYCOURT.
- CRACKFILL, SEAL COAT AND RE-STRIPE EXISTING KINDERGARTEN PLAYCOURT
- ACCESSIBILITY UPGRADES INCLUDING NEW PARKING LOT ENTRY TOW AWAY SIGNAGE.

APPLICABLE CODES:

2019 CALIFORNIA ADMIN. CODE, TITLE 24, PART 1, CCR
2019 CALIFORNIA BUILDING CODE, TITLE 24, PART 2, CCR

TABLE OF CONTENTS	
SHEET NUMBER	SHEET TITLE
JE-00	COVER SHEET
JE-01	ACCESS COMPLIANCE PLAN
JE-10	TOPOGRAPHIC SURVEY LEGEND
JE-11	TOPOGRAPHIC SURVEY
JE-20	DEMOLITION PLAN
JE-30	SITE PLAN
JE-40	GRADING PLAN
JEX-1	DETAILS
TOTAL SHEET COUNT: 8	

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE PERFORMANCE OF WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, ON A CONTINUOUS BASIS NOT LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS.



Know what's below.
Call before you dig.



CONSULTANT	REF. & REV.	CLOVIS UNIFIED SCHOOL DISTRICT	
Blair, Church & Flynn Consulting Engineers 451 Clovis Avenue, Suite 200 Clovis, California 93612 Tel (559) 326-1400 Fax (559) 326-1500		2022 PAVEMENT REHABILITATION VARIOUS SITES JEFFERSON ELEMENTARY COVER SHEET	CONST. DOCUMENTS JE-00
DR. BY: AH	CH. BY:	DATE: 01/21/2022	SCALE AS NOTED

Blair, Church & Flynn Consulting Engineers, Inc. License No. CE-10000, State of California, 1/21/2022, 11:00 AM, APP # 02-119791, 1/21/2022, 11:00 AM

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 02-119791 INC:
REVIEWED FOR
SS FLS ACS
DATE: 04/04/2022

FOR DSA USE ONLY

APP # 02-119791

PARKING CALCULATIONS

LOT#	DSA APP #	STALLS PROVIDED	ACCESSIBLE STALLS PROVIDED	ACCESSIBLE STALLS REQUIRED PER CBC 11B-303.2
A	02-107830, 02-112684	78	4 TOTAL, 1 VAN	4 TOTAL, 1 VAN
B	02-112684	9	2 TOTAL, 1 VAN	1 TOTAL, 1 VAN

BUILDING LEGEND:

ID	BUILDING USE	DSA APP #
A	MULTI-PURPOSE BUILDING	16280; 36437; 57927; 02-112684
B	KINDERGARTEN	16280; 36437; 101039; 02-112684
C1	CLASSROOM WING #1	9498; 66763; 02-112684
C2	CLASSROOM WING #2	10506; 67763; 02-112684
C3	CLASSROOM WING #3	12154; 67763; 02-112684
D	CLASSROOM/LIBRARY	17735; 02-112684
E	MEDIA CENTER BUILDING	67663; 02-112684
F	ADMINISTRATION BUILDING	107830; 02-112684
G	TEACHER WORKROOM	02-112684
H	STUDENT SERVICES	16280; 02-112684
P1	PORTABLE BUILDING	50209; 02-112684
P3	PORTABLE BUILDING	54839; 02-112684
P4	PORTABLE BUILDING	63748; 02-112684
P5	PORTABLE BUILDING	65942; 02-112684
P6	PORTABLE BUILDING	65942; 02-112684
P7	PORTABLE BUILDING	65942; 02-112684
P8	PORTABLE BUILDING	65942; 02-112684
RR	RESTROOMS	65942; 02-112684

SITE LEGEND:

- LIMITS OF WORK
- ACCESSIBLE PATH OF TRAVEL PER THIS APPLICATION
- EXISTING ACCESSIBLE PATH OF TRAVEL
- ACCESSIBLE MEN'S RESTROOM PER DSA APP # 02-112684
- ACCESSIBLE WOMEN'S RESTROOM PER DSA APP # 02-112684
- ACCESSIBLE BOY'S RESTROOM PER DSA APP # 02-112684
- ACCESSIBLE GIRL'S RESTROOM PER DSA APP # 02-112684
- EXISTING DRINKING FOUNTAIN PER DSA APP # 02-107830
- ENTRY TOW AWAY SIGN PER DSA APP # 02-107830
- ACCESSIBLE PARKING STALLS & SIGNAGE PER DSA APP # 02-107830
- EXISTING ACCESSIBLE GATE PER DSA APP # 02-112684
- EXISTING ACCESSIBLE PARKING STALLS
- ENTRY TOW AWAY SIGN PER THIS APPLICATION
- EXISTING ACCESSIBLE RESTROOMS PER DSA APP # 02-112684
- EXISTING ACCESSIBLE DRINKING FOUNTAIN
- ACCESSIBLE CURB RAMP PER PER DSA APP # 107830
- ACCESSIBLE CURB RAMP PER PER DSA APP # 02-112684

NOTES:

- DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE PATH OF TRAVEL (P.O.T.) IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS, AS PART OF THE DESIGN OF THIS PROJECT. THE P.O.T. WAS EXAMINED AND ANY ELEMENTS/COMPONENTS OF PORTIONS OF THE P.O.T. THAT WERE DETERMINED TO BE NON-COMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON-COMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE P.O.T. THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

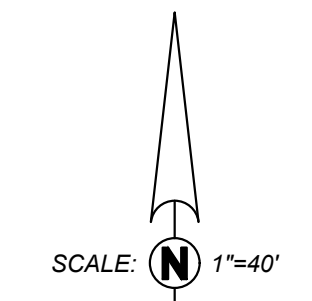
DURING CONSTRUCTION, IF P.O.T. ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-COMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.
- THE ENGINEER HAS SURVEYED/INSPECTED THE PATH OF TRAVEL (P.O.T.) AS INDICATED ON THE PLANS AND HAS FOUND IT TO BE, OR HAS INDICATED ON THE PLANS REMEDIAL WORK WHICH WOULD CAUSE IT TO BE, A BARRIER FREE ACCESSIBLE ROUTE:
 - AT LEAST 48" IN WIDTH, OR AS APPROVED BY CODE, WITHOUT ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAXIMUM SLOPE, OR VERTICAL LEVEL CHANGES EXCEEDING 1/4".
 - WITH A FIRM, STABLE, AND SLIP RESISTANT WALKING SURFACE, WITH A RUNNING SLOPE OF 1:20 OR LESS, UNLESS OTHERWISE INDICATED, AND A CROSS SLOPE OF 1:48 OR LESS.
 - IS FREE OF OVERHEAD OBSTRUCTIONS WITHIN 80" ABOVE THE WALKING SURFACE.
 - IS FREE OF OBJECTS WHICH PROTRUDE MORE THAN 4" BETWEEN THE HEIGHTS OF 27" AND 80" ABOVE THE WALKING SURFACE.
- PASSING SPACES (11B-403.5.3) OF 60"x60" MIN. ARE LOCATED NOT MORE THAN 200' APART, WITH CONTINUOUS GRADIENTS HAVE 60" IN LENGTH OF LEVEL AREAS (11B-403.7) NOT MORE THAN 400' APART, THERE IS NO DROP-OFF OVER 4" AT THE EDGE OF WALK OR LANDING UNLESS IDENTIFIED BY A GUARD, A HANDRAIL, OR WARNING CURB AT LEAST 6" IN HEIGHT ABOVE THE WALK (11B-303.5).

KEATS AVENUE

AVENUE

FOWLER AVENUE

SHAW AVENUE



Blair, Church & Flynn
CONSULTING ENGINEERS

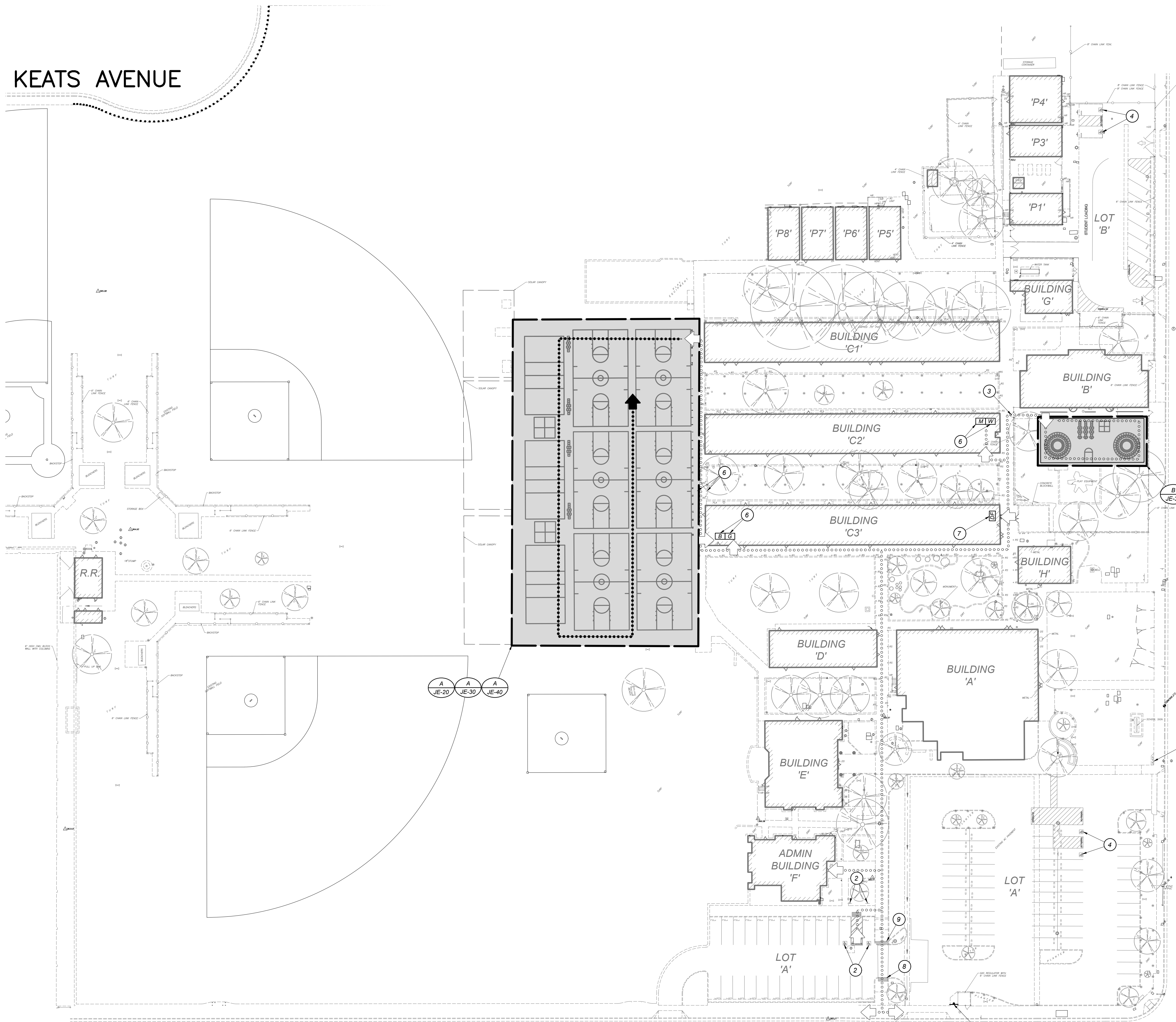


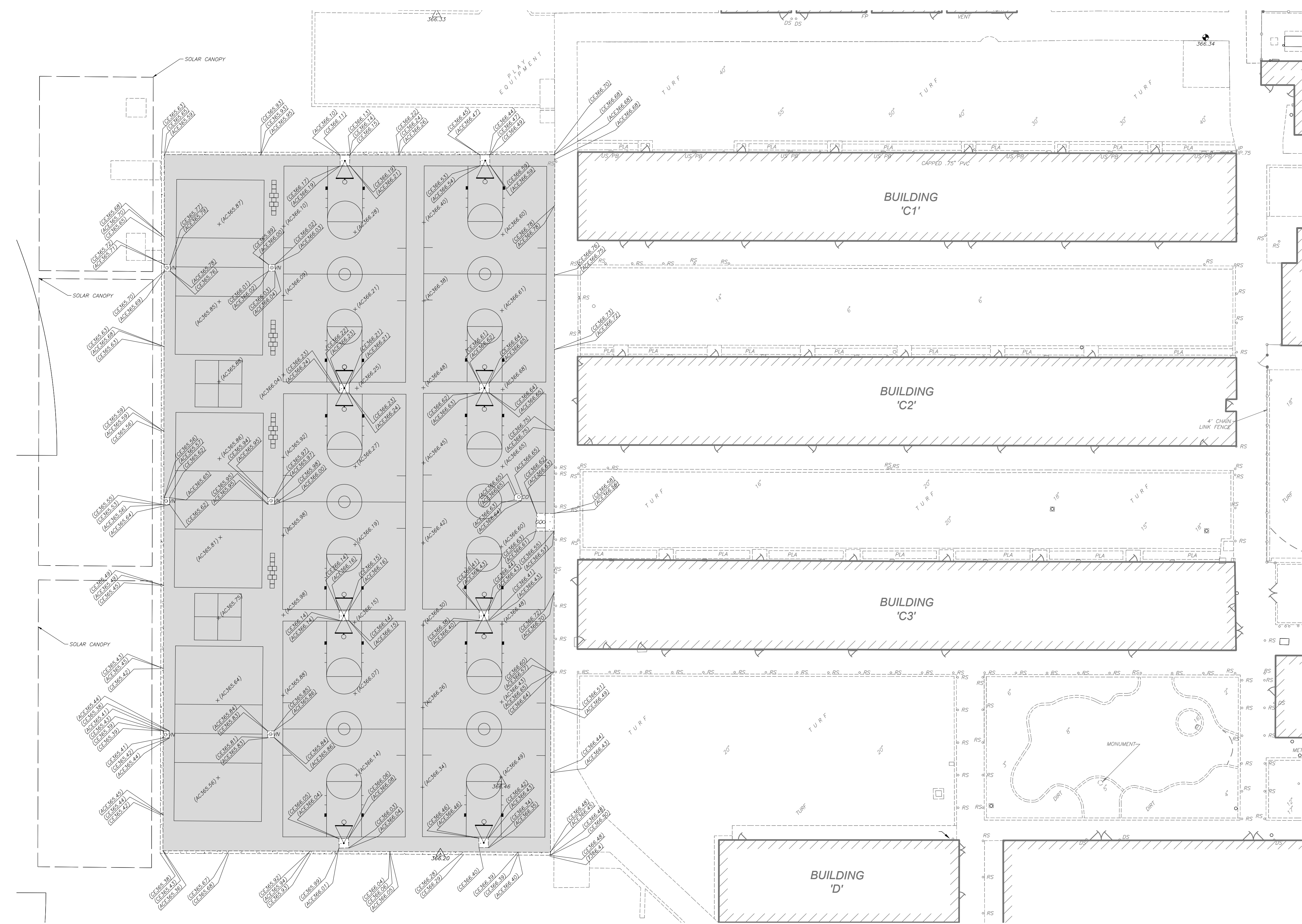
CONSULTANT
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Consulting Engineers
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Suite 500
Clovis, California 93612
Tel: (559) 326-1400
Fax: (559) 326-1500

REF. & REV.

CLOVIS UNIFIED SCHOOL DISTRICT
2022 PAVEMENT REHABILITATION
VARIOUS SITES
JEFFERSON ELEMENTARY
ACCESS COMPLIANCE PLAN

CONST. DOCUMENTS
DR. BY: AH
CH. BY: JF
DATE: 01/21/2022
SCALE AS NOTED
JE-01



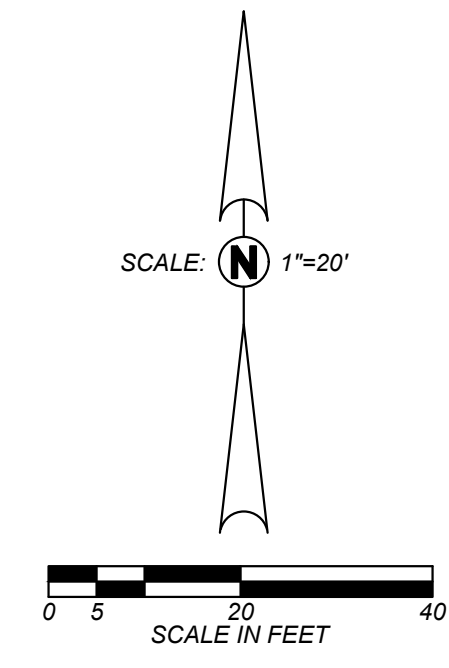


NOTE:
 THIS TOPOGRAPHIC SURVEY LOCATES SPECIFIC PHYSICAL FEATURES OF THE SITE AND THEIR ELEVATION AS DETERMINED NECESSARY BY THE PROJECT ENGINEER. IT IS NOT A COMPLETE TOPOGRAPHIC SURVEY OF THE SITE. THE INFORMATION SHOWN REFLECTS THE DATA OBTAINED BY FIELD SURVEY CONDUCTED ON NOVEMBER 3, 2021.

SITE BENCHMARK:
 CHISELED CROSS ON SIDEWALK, EAST OF THE PLAY COURT, APPROXIMATELY 40 FEET NORTH OF THE NORTHEAST CORNER OF BUILDING C1.
 ELEV = 366.34' NAVD88 DATUM

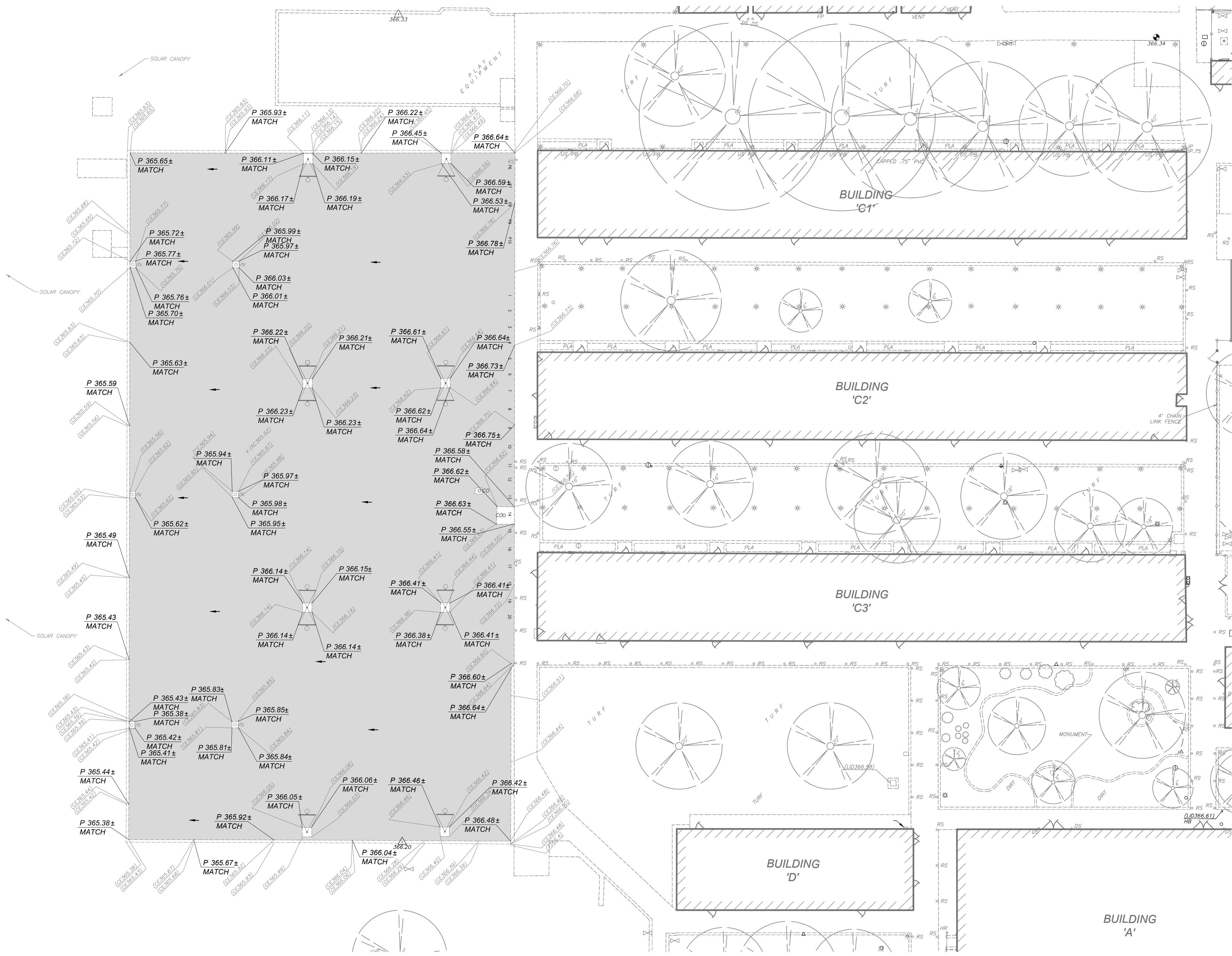
UTILITY NOTE:
 UTILITY INFORMATION SHOWN HEREON IS BASED ON RECORD INFORMATION SUPPLIED TO THE ENGINEER BY UTILITY COMPANIES, PUBLIC AGENCIES AND THE PROPERTY OWNER, TOGETHER WITH OBSERVATION OF VISIBLE EVIDENCE BY A FIELD SURVEY. THE ENGINEER CAN MAKE NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF THE UNDERGROUND UTILITY FACILITIES SHOWN. PRIOR TO ANY SITE EXCAVATIONS, THE CONTRACTOR SHALL CONTACT THE OWNER AND UNDERGROUND SERVICE ALERT (USA) AND REQUEST THAT THEY IDENTIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AT THE SITE.

A WEST PLAYCOURT TOPOGRAPHIC PLAN
 JE-11



	CONSULTANT	REF. & REV.	CLOVIS UNIFIED SCHOOL DISTRICT	CONST. DOCUMENTS
	Blair, Church & Flynn Consulting Engineers 455 Clovis Avenue, Suite 200 Clovis, California 93612 Tel (559) 326-1400 Fax (559) 326-1500			
				JE-11

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GRADING LEGEND:

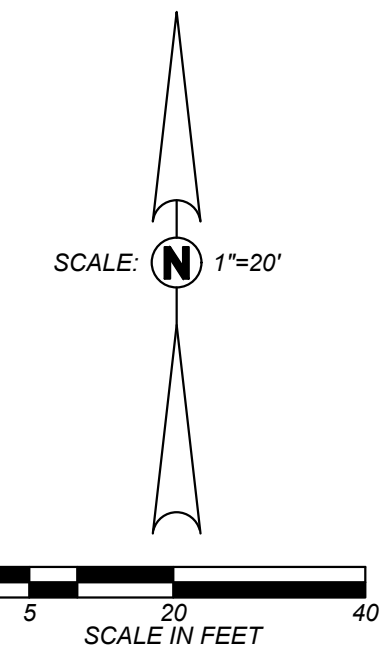
- P PAVEMENT
- (368.20) EXISTING ELEVATION
- P 368.33 NEW FINISHED GRADE
- DIRECTION OF DRAINAGE
- G.B. GRADE BREAK
- SWALE

GENERAL GRADING AND DRAINAGE NOTES:

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1. CONSTRUCTION OF ALL PROJECT SITE IMPROVEMENTS SUBJECT TO AMERICAN WITH DISABILITIES ACT (ADA) ACCESS COMPLIANCE, INCLUDING ACCESSIBLE PATH-OF-TRAVEL (P.O.T.), CURB RETURNS, PARKING STALL(S) AND UNLOADING AREAS, BARRIER FREE AMENITIES AND/OR OTHER APPLICABLE SITE IMPROVEMENTS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT, CALIFORNIA TITLE 24, AND THE CALIFORNIA BUILDING CODE, CURRENT EDITION(S).
2. CONTRACTOR SHALL FIELD VERIFY ALL GRADES AND SLOPES PRIOR TO THE PLACEMENT OF CONCRETE AND/OR PAVEMENT FOR CONFORMANCE WITH ADA ACCESS COMPLIANCE REQUIREMENTS. EXAMPLES OF MINIMUM AND MAXIMUM LIMITS RELATED TO ADA ACCESS COMPLIANCE INCLUDE, BUT ARE NOT LIMITED TO:
 - a) ACCESSIBLE P.O.T. CROSS-SLOPE SHALL NOT EXCEED 2%
 - b) ACCESSIBLE P.O.T. LONGITUDINAL SLOPES SHALL NOT EXCEED 5%
 - c) RAMP LONGITUDINAL SLOPES SHALL NOT EXCEED 8.33%
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 - e) ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
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 - g) GUTTERS AND ROAD SURFACES DIRECTLY ADJACENT TO AND WITHIN 2 FEET OF A CURB RAMP SHALL HAVE A COUNTER SLOPE NOT TO EXCEED 5%
3. CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IDENTIFIED BY THESE PLANS, OF ANY SITE CONDITION(S) AND/OR DESIGN INFORMATION THAT PREVENTS THE CONTRACTOR FROM COMPLYING WITH THE LAWS, REGULATIONS AND/OR BUILDING CODES GOVERNING ADA ACCESS COMPLIANCE.
4. DRAINAGE SHALL NOT BE ALLOWED ONTO ADJACENT PROPERTY.
5. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS REQUIRED BY THE PROJECT SPECIFICATIONS, AND BY GOVERNING PUBLIC AGENCIES.
6. ADJUST UTILITY LIDS WITHIN NEW CONSTRUCTION AREA TO FINISHED GRADE PER DETAIL (E/CHX-1) REPLACE ALL BROKEN LIDS WITH NEW. PROVIDE TRAFFIC RATED LIDS WITHIN VEHICLE LOADING AREAS.

A WEST PLAYCOURT GRADING PLAN
 JE-40

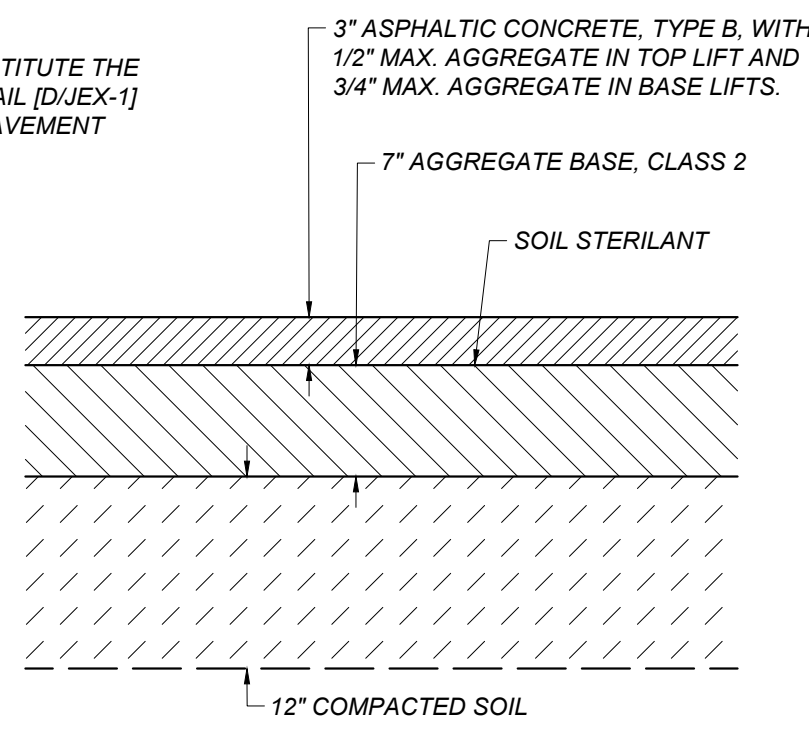


<p>Blair, Church & Flynn Consulting Engineers 485 Clovis Avenue, Suite 200 Clovis, California 93612 Tel (559) 326-1400 Fax (559) 326-1500</p>	CONSULTANT REF. & REV.	CLOVIS UNIFIED SCHOOL DISTRICT 2022 PAVEMENT REHABILITATION VARIOUS SITES JEFFERSON ELEMENTARY GRADING PLAN	CONST. DOCUMENTS DR. BY: AH CH. BY: JF DATE: 01/21/2022 SCALE AS NOTED
		JE-40	

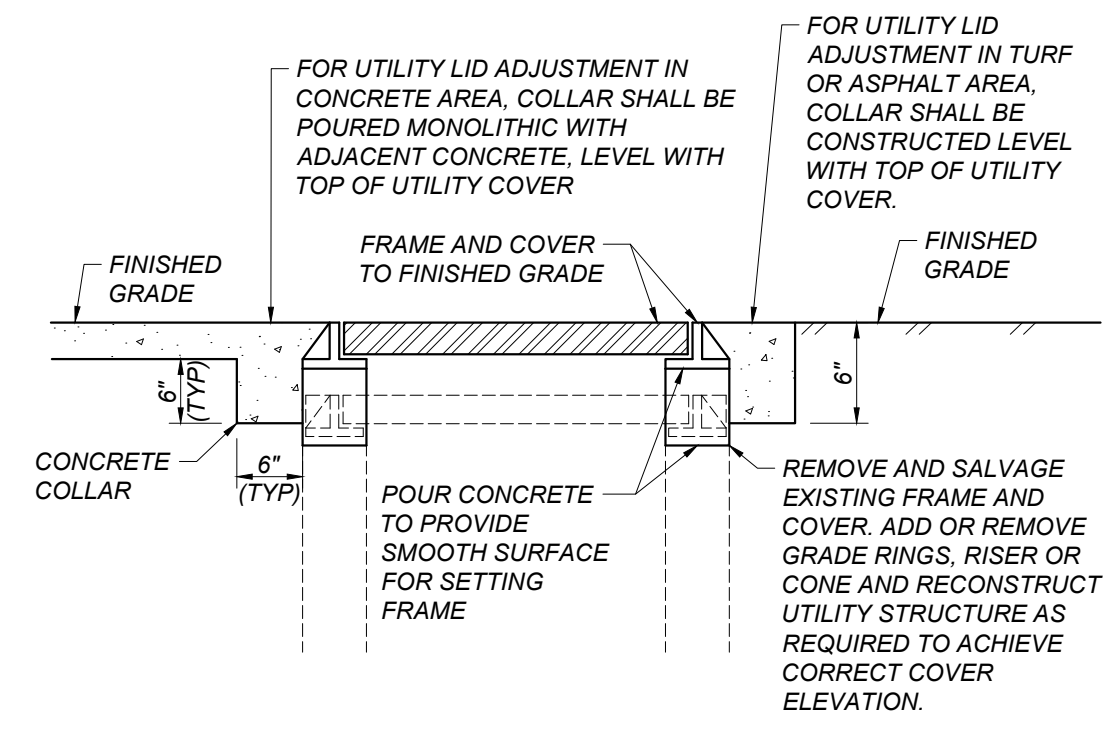
NOTE:
CONTRACTOR MAY SUBSTITUTE THE SECTION SHOWN IN DETAIL [J/JEX-1] FOR SMALL AREAS OF PAVEMENT REPLACEMENT

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 02-119791 INC:
REVIEWED FOR
SS FLS ACS
DATE: 04/04/2022

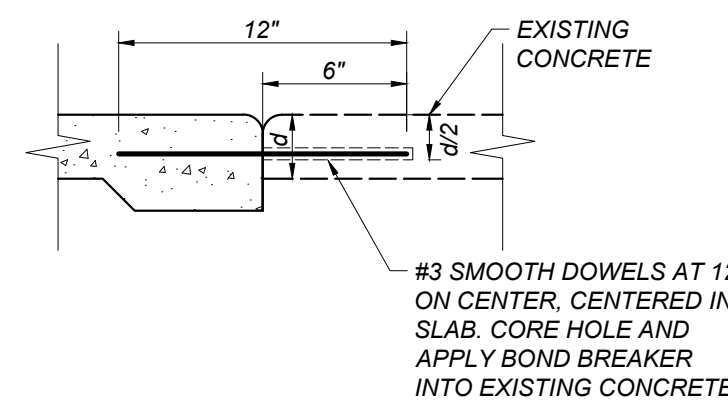
FOR DSA USE ONLY
APP # 02-119791



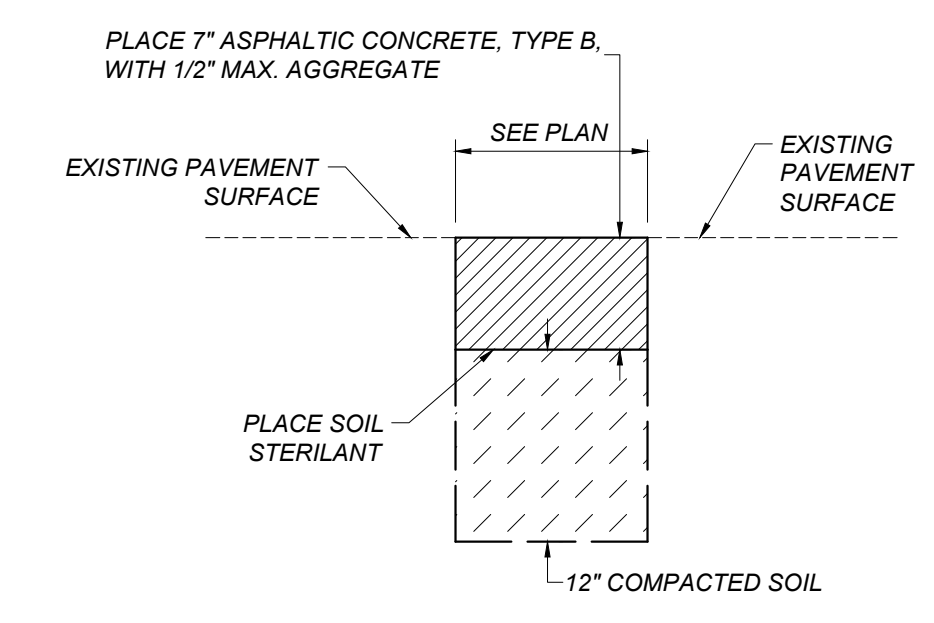
A ASPHALT CONCRETE PAVEMENT SECTION
JEX-1 NOT TO SCALE



B ADJUST UTILITY LID
JEX-1 NOT TO SCALE



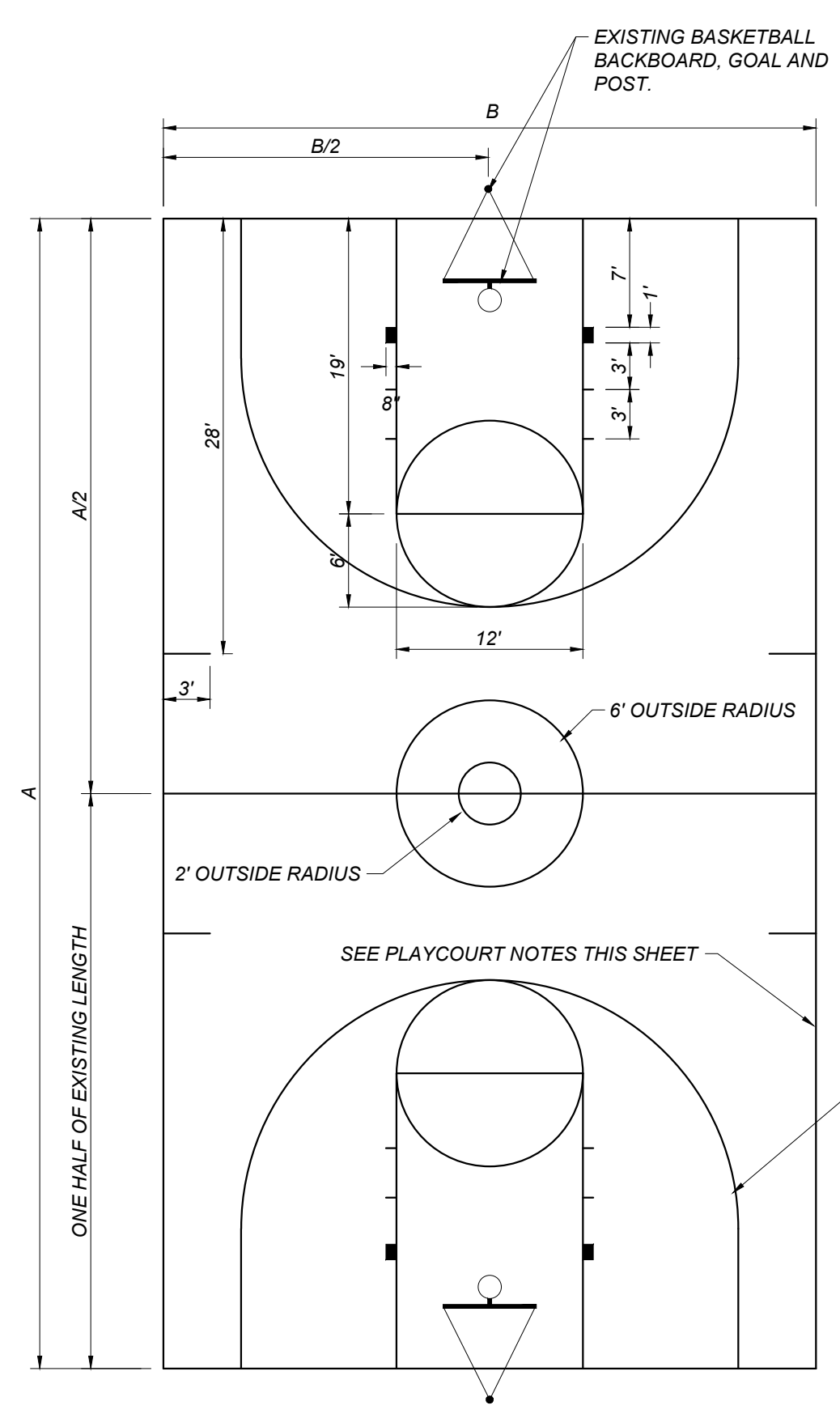
C DOWEL BAR DETAIL
JEX-1 NOT TO SCALE



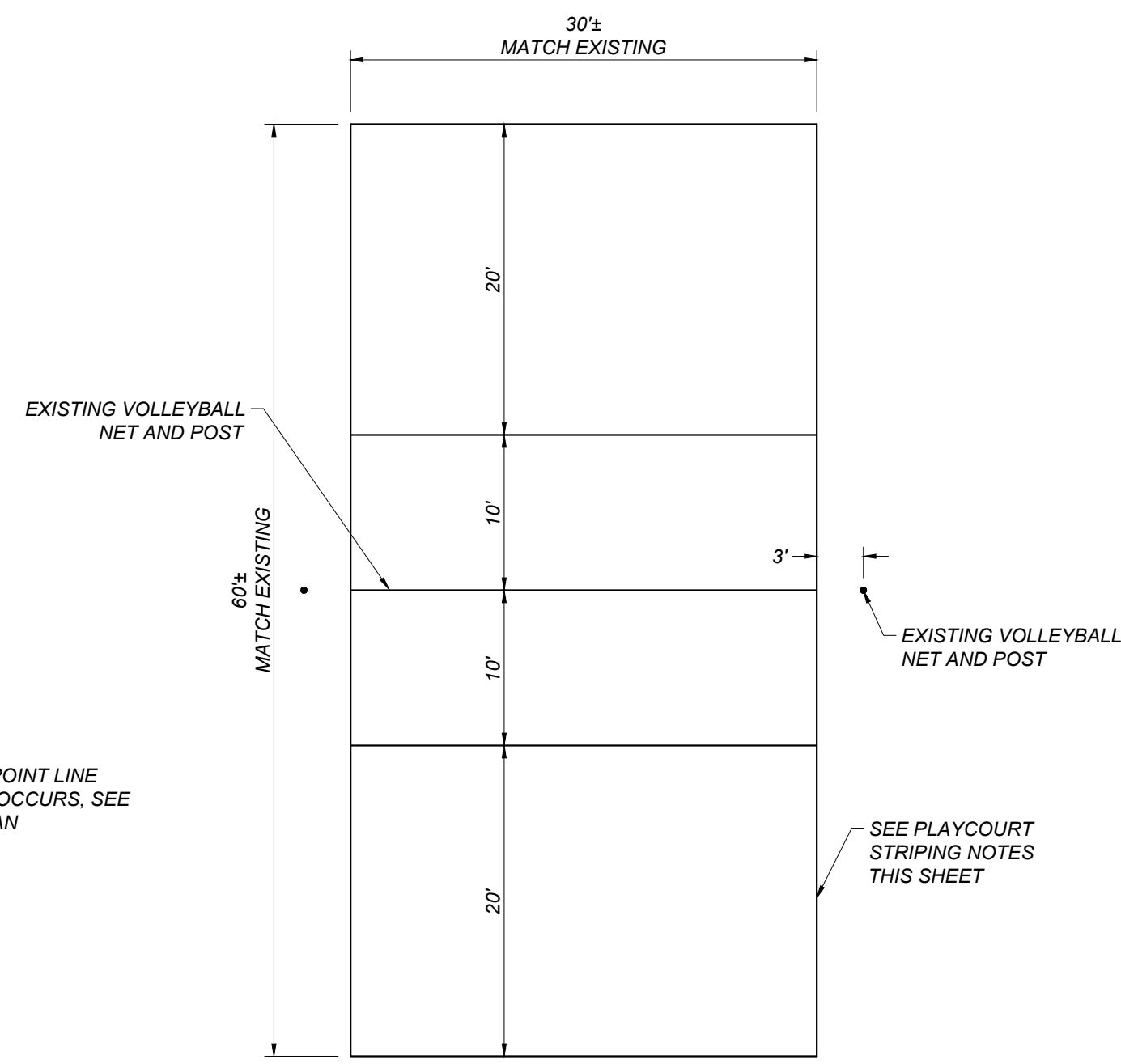
D ASPHALT CONCRETE PLUG
JEX-1 NOT TO SCALE

GENERAL NOTES FOR PLAYCOURT STRIPING:

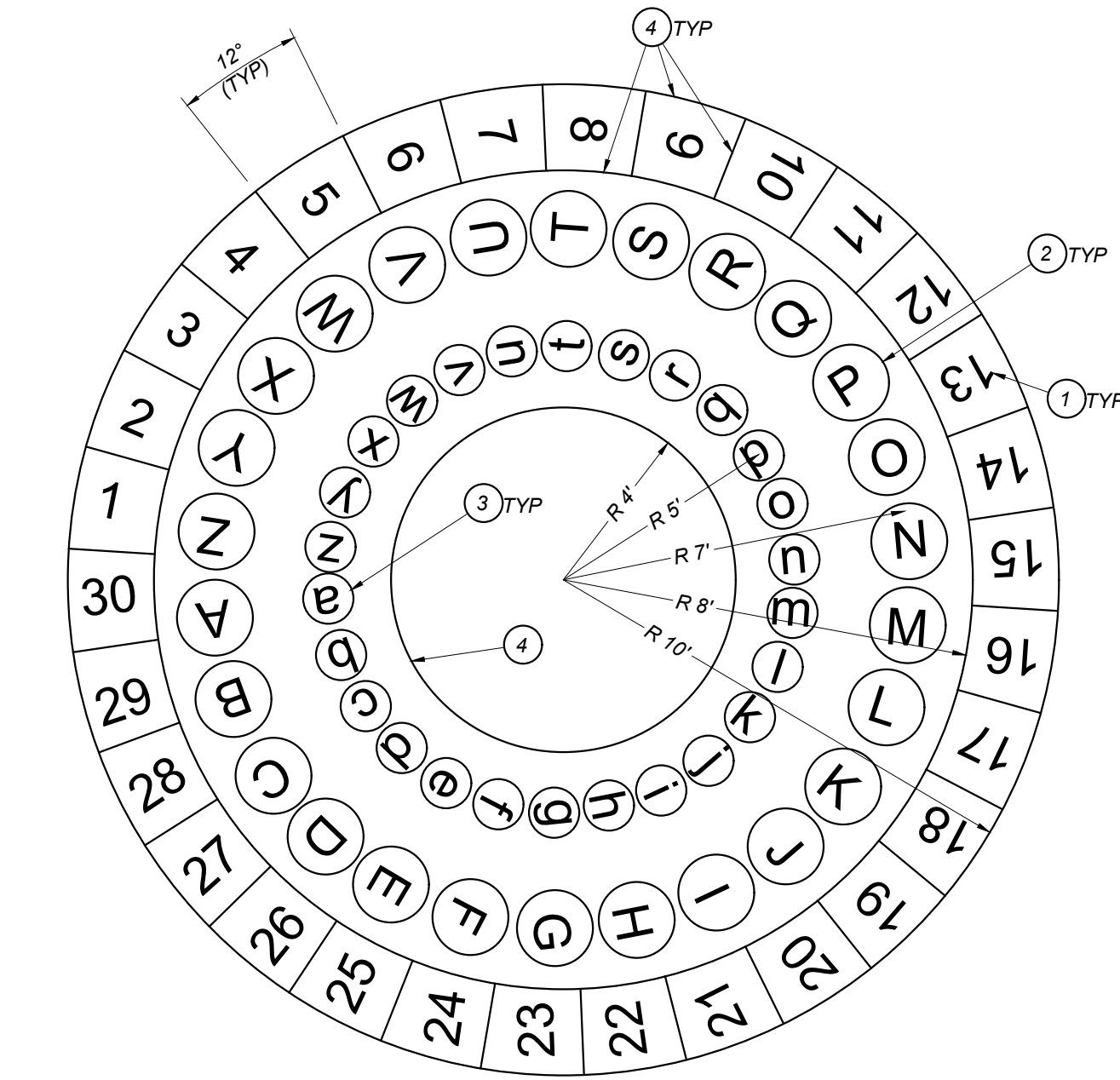
- ALL COURT LINES ARE TO BE 2" IN WIDTH.
- BASKETBALL COURTS SHALL BE STRIPED YELLOW, VOLLEYBALL COURTS SHALL BE STRIPED RED, AND ALL OTHER PLAYCOURTS SHALL BE STRIPED WHITE.
- ALL GAME COURT DIMENSIONS ARE TO THE INSIDE OF COURT LINES, WITH THE EXCEPTION OF THE CENTERLINES.
- CONTRACTOR IS RESPONSIBLE FOR GAME COURT LAYOUTS.
- LAYOUT BASKETBALL AND VOLLEYBALL COURTS BASED ON EXISTING GOAL AND NET POSTS. LAYOUT FOURSQUARE AND TETHERBALL GAME COURT STRIPING AS SHOWN ON PLAN.
- CONTRACTOR TO CONFIRM THE HEIGHT FROM THE TOP OF ALL BASKETBALL RIMS TO THE SURFACE OF THE NEW FINISHED PAVEMENT IS 9 FEET ± 1/4" INCH. CONTRACTOR TO ADJUST BASKETBALL HOOPS AND BACKBOARDS AS NECESSARY TO ACHIEVE THIS HEIGHT.



E BASKETBALL COURT
JEX-1 NOT TO SCALE



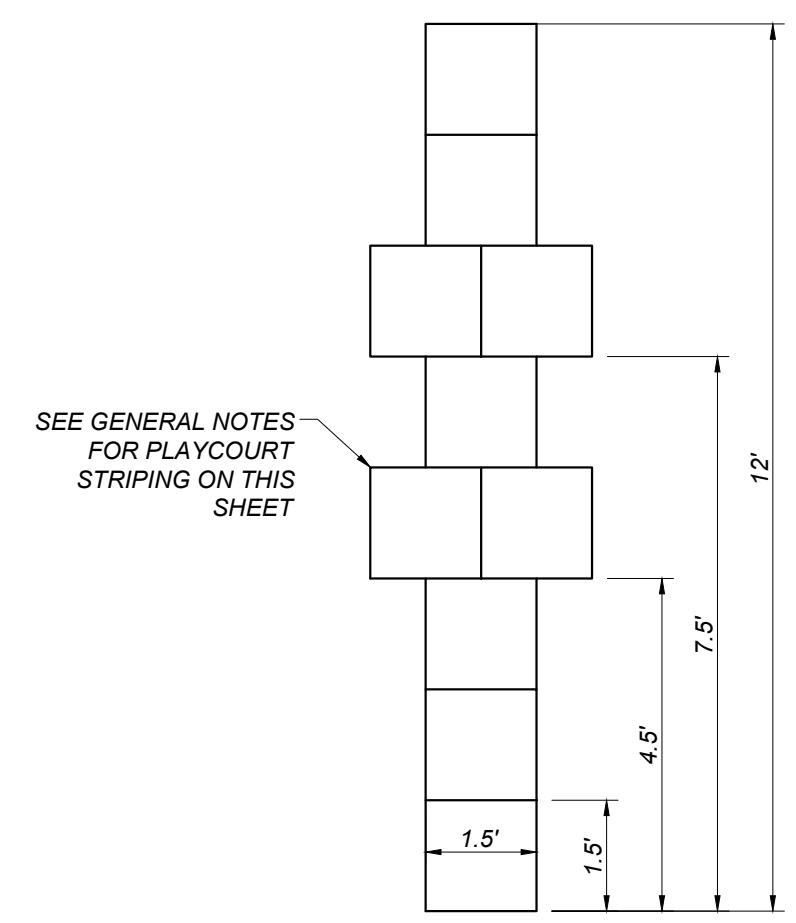
F VOLLEYBALL COURT
JEX-1 NOT TO SCALE



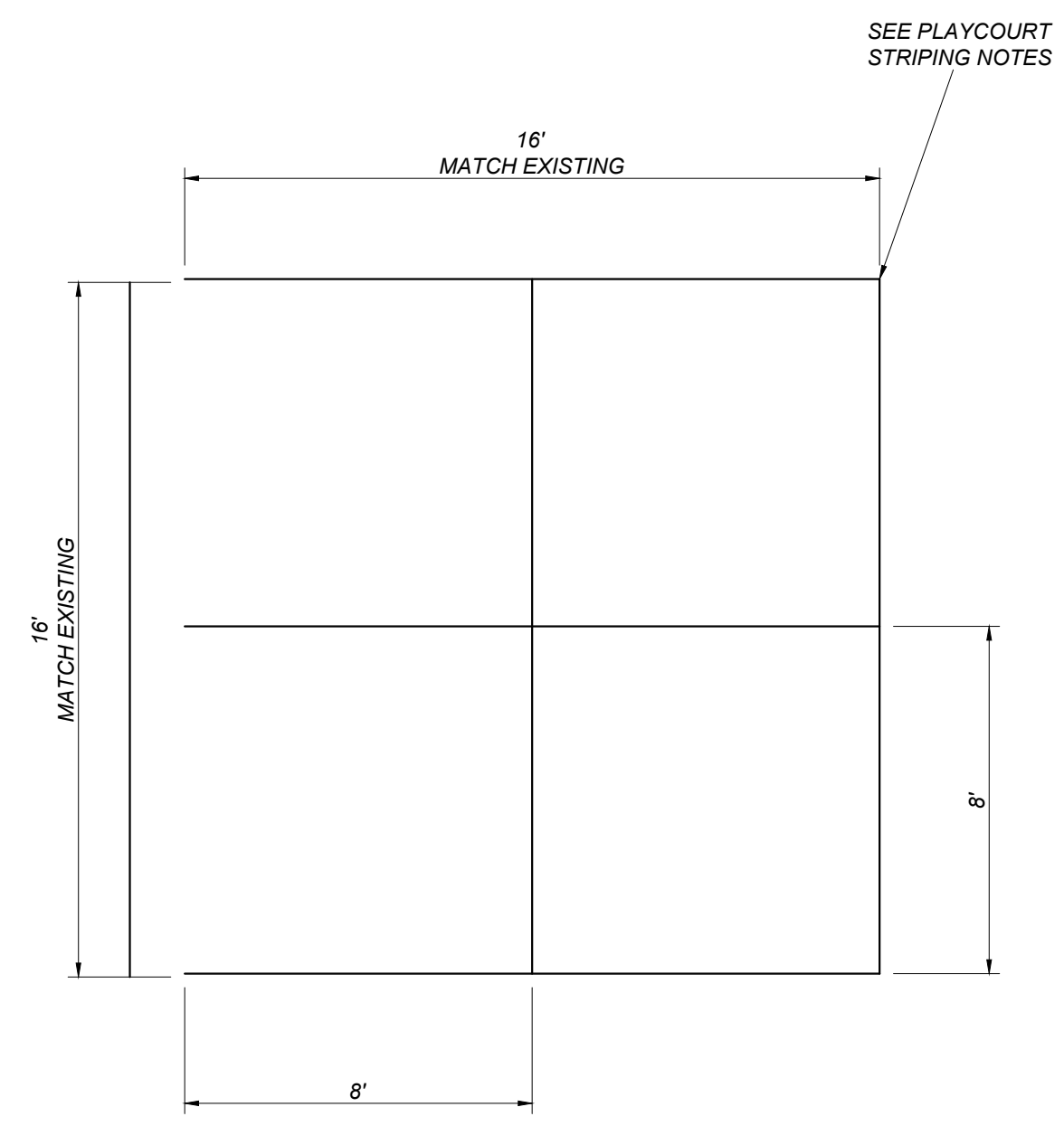
G KINDERGARTEN NUMBER AND ALPHABET CIRCLE DETAIL
JEX-1 NOT TO SCALE

KEYNOTES:

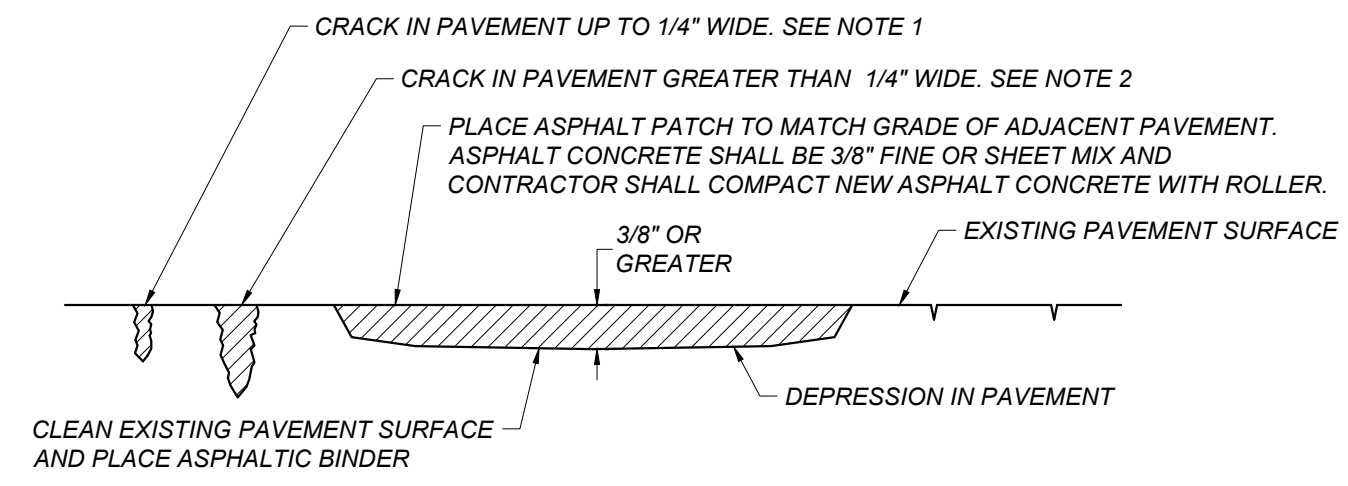
- PAINT 12" HIGH WHITE NUMBERS
- PAINT 12" HIGH WHITE CAPITAL LETTERS IN 12" DIAMETER CIRCLES. PAINT RED CIRCLES FOR LETTERS A-F, BLUE CIRCLES FOR LETTERS "G" THROUGH "L", YELLOW CIRCLES FOR LETTERS "M" THROUGH "R", GREEN CIRCLES FOR LETTERS "S" THROUGH "Z"
- PAINT 8" HIGH WHITE LOWER CASE LETTERS IN 8" DIAMETER CIRCLES. PAINT RED CIRCLES FOR LETTERS A-F, BLUE CIRCLES FOR LETTERS "G" THROUGH "L", YELLOW CIRCLES FOR LETTERS "M" THROUGH "R", GREEN CIRCLES FOR LETTERS "S" THROUGH "Z"
- PAINT 2" WIDE WHITE LINES TO MATCH EXISTING



H HOPSCOTCH
JEX-1 NOT TO SCALE

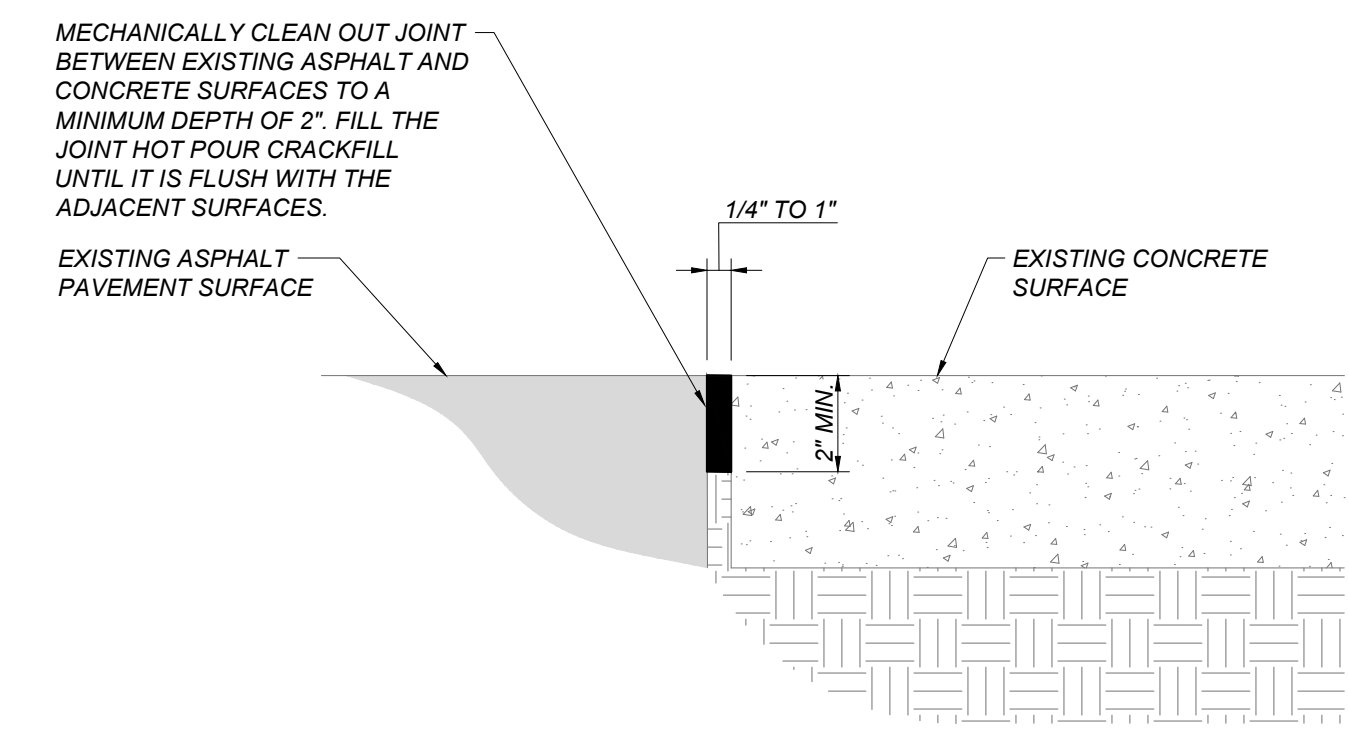


I FOURSQUARE
JEX-1 NOT TO SCALE

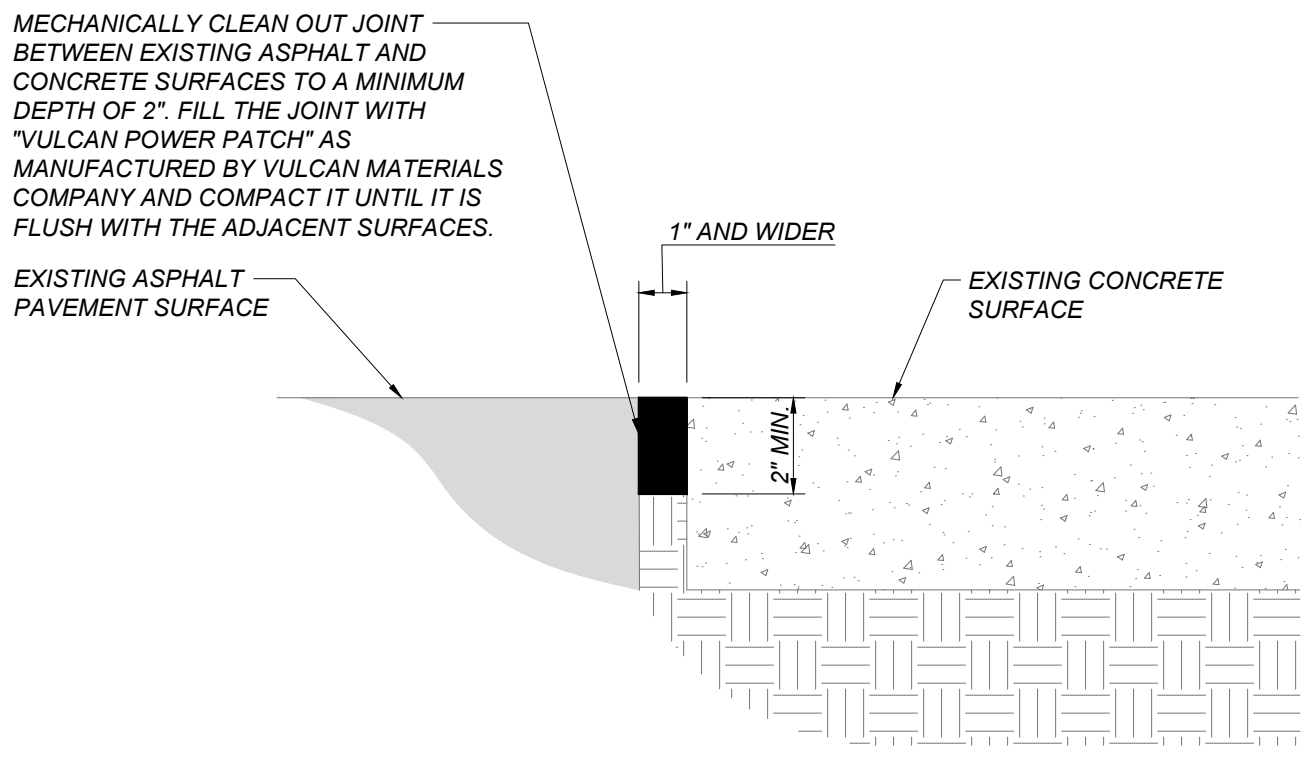


- NOTES:**
- FOR CRACKS UP TO 1/4" IN WIDTH, THOROUGHLY CLEAN THE CRACK AND FILL WITH "FLEX CRAX" AS MANUFACTURED BY ASPHALT COATING ENGINEERING, OR APPROVED EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - FOR CRACKS GREATER THAN 1/4" IN WIDTH, MECHANICALLY CLEAN CRACK TO A MINIMUM DEPTH OF 2". FILL THE CRACK WITH "VULCAN POWER PATCH" AS MANUFACTURED BY VULCAN MATERIALS COMPANY AND COMPACT IT UNTIL IT IS FLUSH WITH THE EXISTING ASPHALT SURFACE PRIOR TO SEAL COAT APPLICATION.
 - FOR CRACKS WITH EXISTING CRACK FILL, CLEAN CRACK PER DETAIL [M/JEX-1]

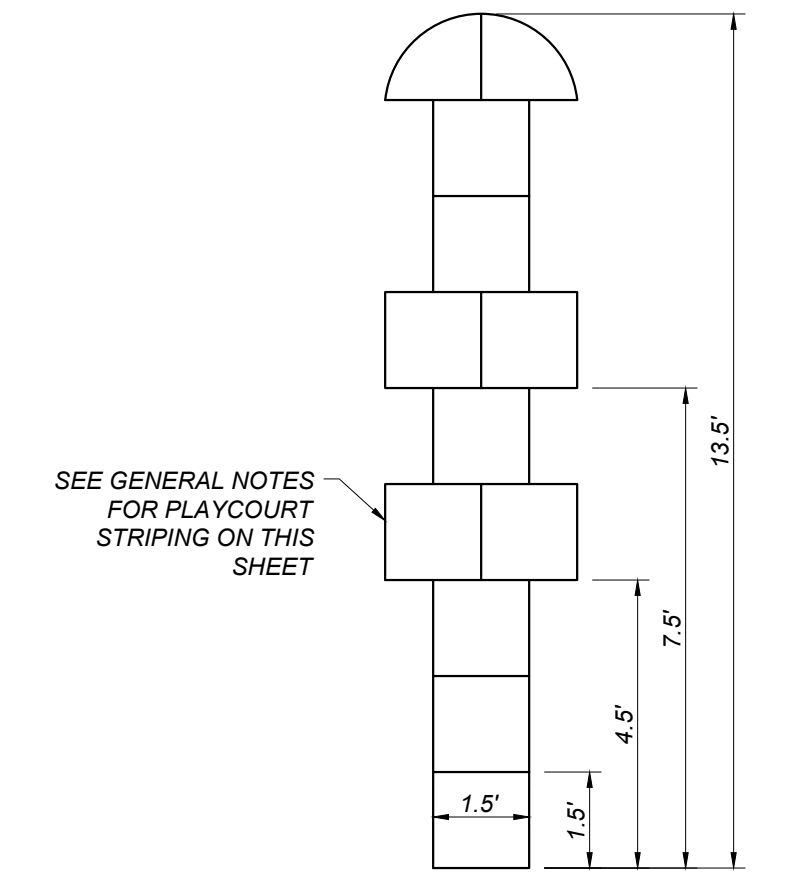
J CRACK PATCHING DETAIL
JEX-1 NOT TO SCALE



K ASPHALT EDGE CONDITION TREATMENT
JEX-1 NOT TO SCALE



L KINDERGARTEN HOPSCOTCH
JEX-1 NOT TO SCALE



M CRACK FILL CLEANING DETAIL
JEX-1 NOT TO SCALE

		CONSULTANT	REF. & REV.	CLOVIS UNIFIED SCHOOL DISTRICT 2022 PAVEMENT REHABILITATION VARIOUS SITES JEFFERSON ELEMENTARY DETAILS	CONST. DOCUMENTS JEX-1
		Blair, Church & Flynn Consulting Engineers 455 Clovis Avenue, Suite 500 Clovis, California 93612 Tel (559) 326-1400 Fax (559) 326-1500			